

---

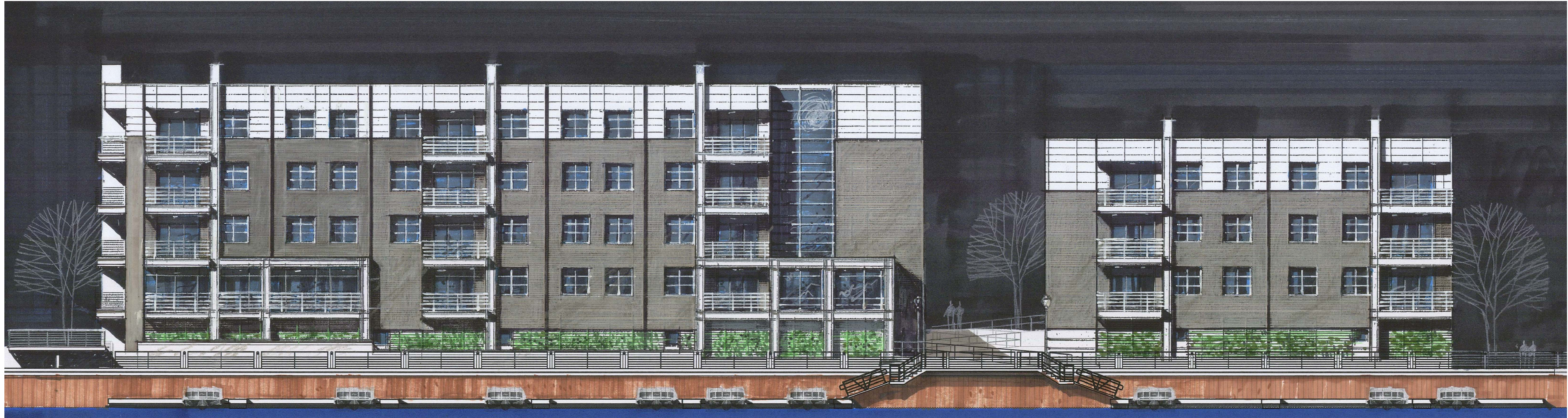
A NEW BUILDING PROJECT FOR:

# BEERLINE B APARTMENTS

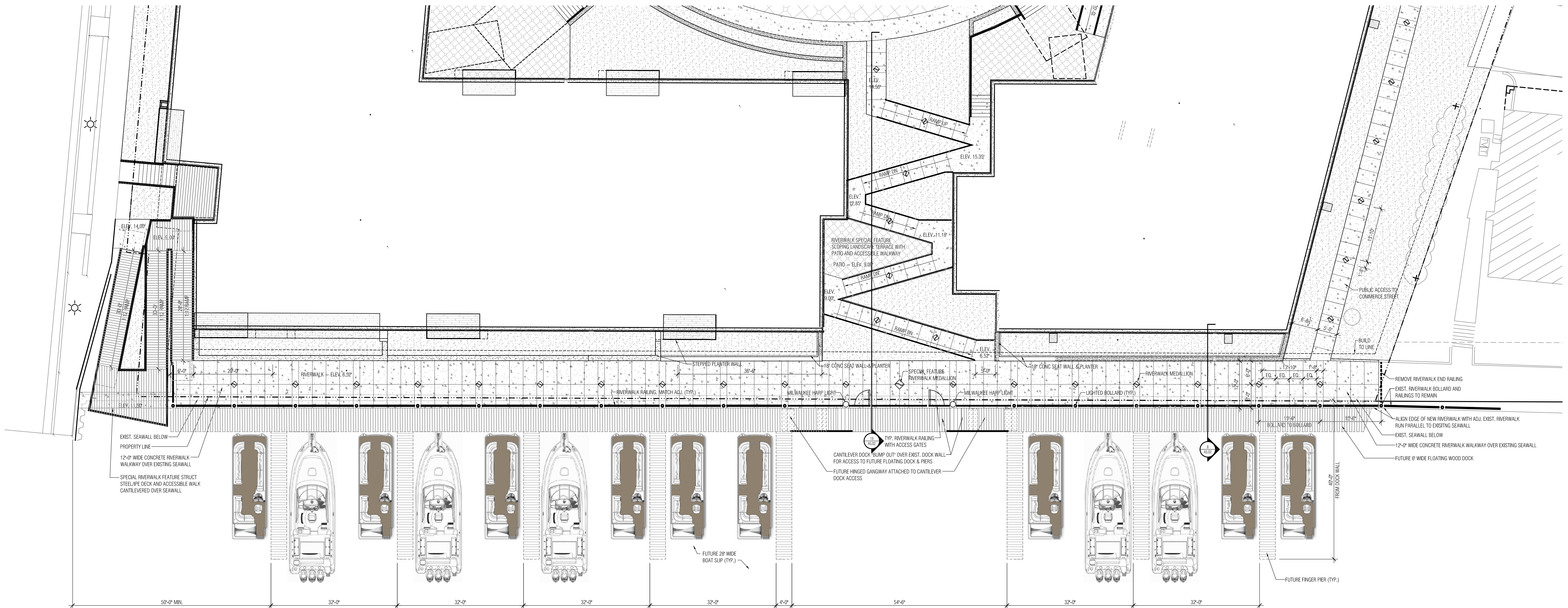
MILWAUKEE, WI 53212

ZIMMERMAN PROJECT #: 100069.00

---



7 EAST ELEVATION  
SCALE: 3/32" = 1'-0"



25 RIVERWALK PLAN  
SCALE: 3/32" = 1'-0"

Project:  
**BEERLINE B APARTMENT**

Location:  
**MILWAUKEE, WI 53212**

Sheet:  
**RIVERWALK PLAN AND ELEVATION**

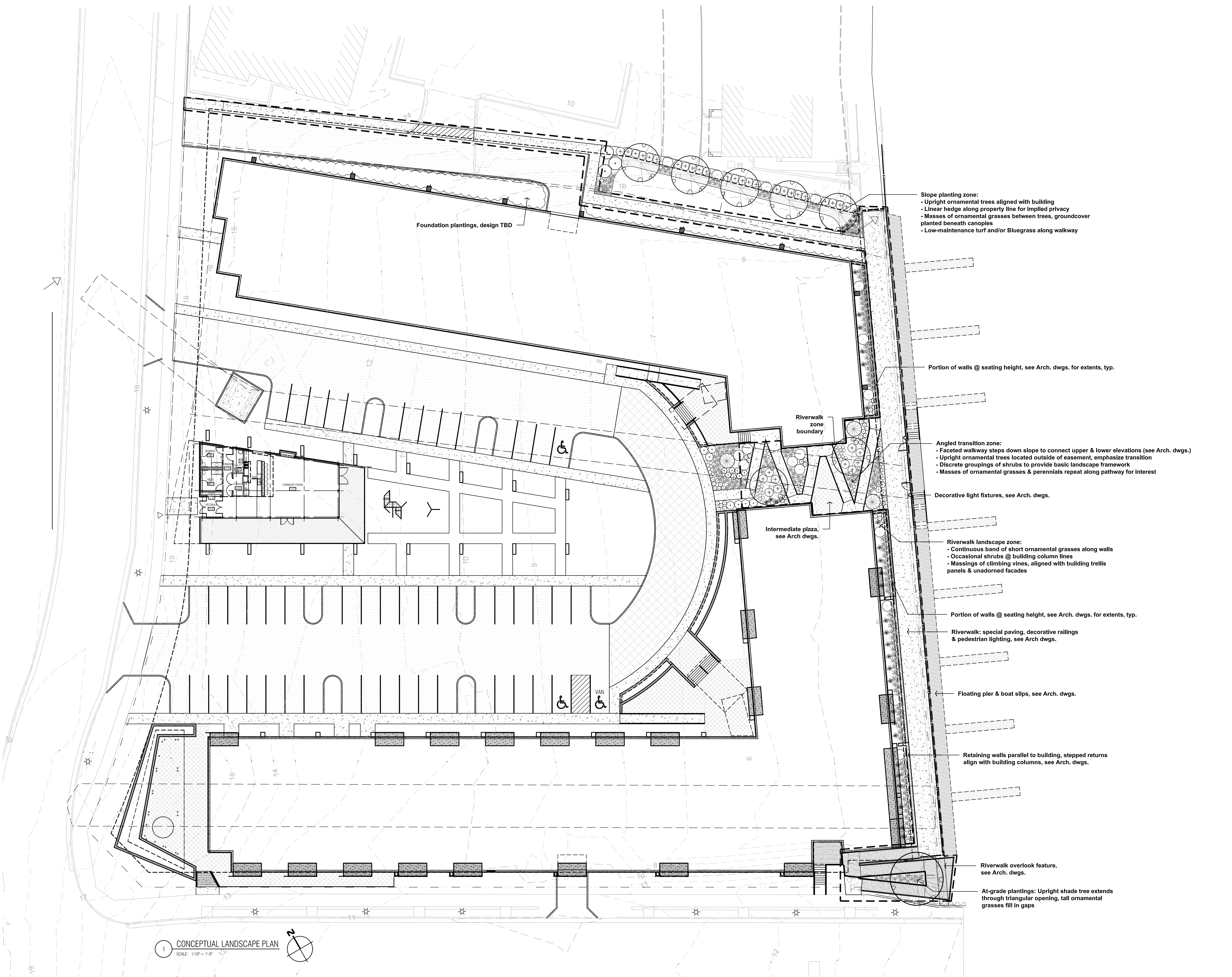
Date: Issue Set:

Date:  
**08.05.10**

Project No.:  
**100069.00**

Sheet No.:

**A5.01**



**Slope planting zone:**  
 - Upright ornamental trees aligned with building  
 - Linear hedge along property line for implied privacy  
 - Masses of ornamental grasses between trees, groundcover planted beneath canopies  
 - Low-maintenance turf and/or Bluegrass along walkway

Portion of walls @ seating height, see Arch. dwgs. for extents, typ.

**Angled transition zone:**  
 - Faceted walkway steps down slope to connect upper & lower elevations (see Arch. dwgs.)  
 - Upright ornamental trees located outside of easement, emphasize transition  
 - Discrete groupings of shrubs to provide basic landscape framework  
 - Masses of ornamental grasses & perennials repeat along pathway for interest

Decorative light fixtures, see Arch. dwgs.

**Riverwalk landscape zone:**  
 - Continuous band of short ornamental grasses along walls  
 - Occasional shrubs @ building column lines  
 - Massings of climbing vines, aligned with building trellis panels & unadorned facades

Portion of walls @ seating height, see Arch. dwgs. for extents, typ.

Riverwalk: special paving, decorative railings & pedestrian lighting, see Arch. dwgs.

Floating pier & boat slips, see Arch. dwgs.

Retaining walls parallel to building, stepped returns align with building columns, see Arch. dwgs.

Riverwalk overlook feature, see Arch. dwgs.

At-grade plantings: Upright shade tree extends through triangular opening, tall ornamental grasses fill in gaps

1 CONCEPTUAL LANDSCAPE PLAN  
 SCALE: 1/16" = 1'-0"

Date:	Issue Set:

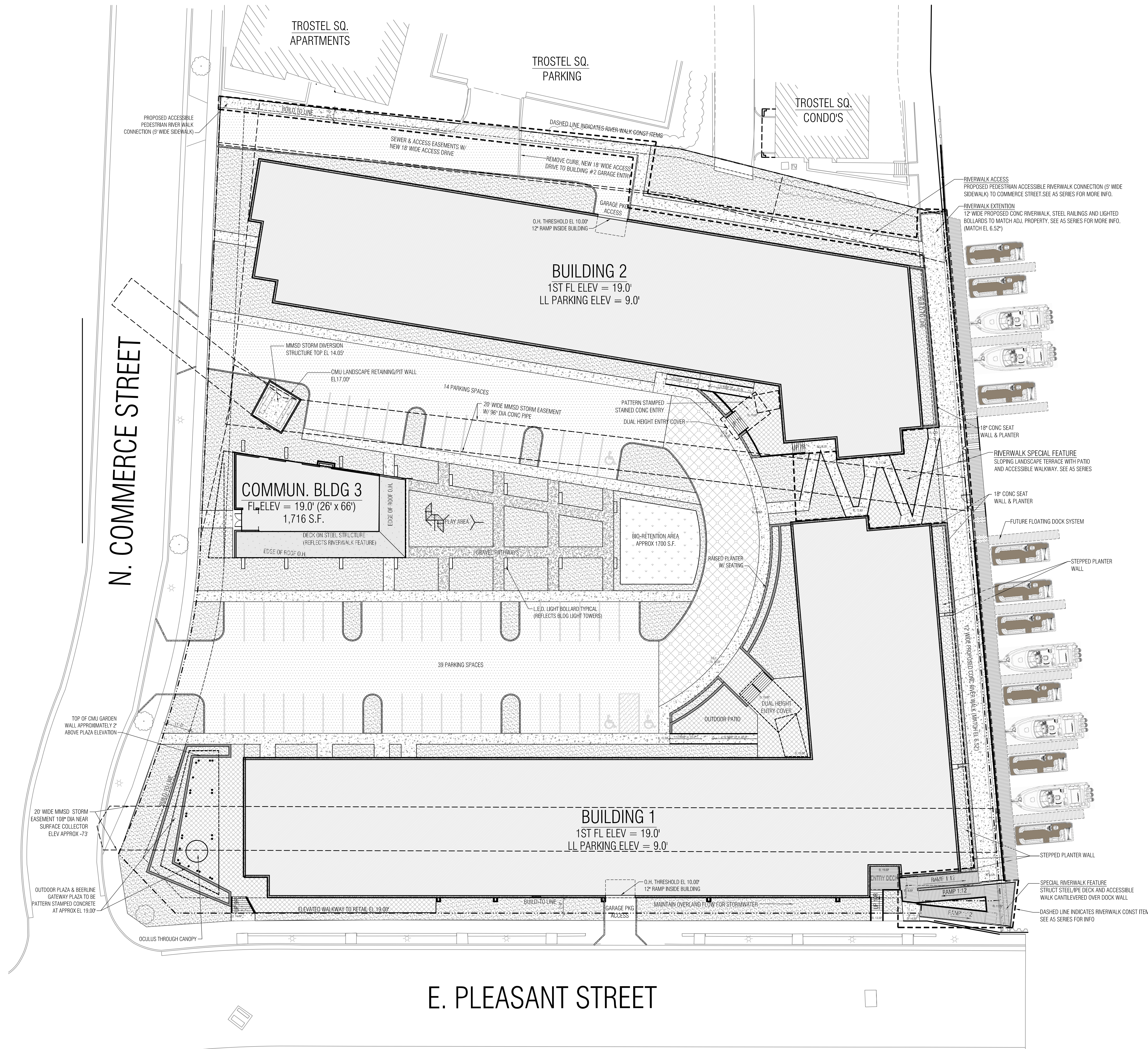
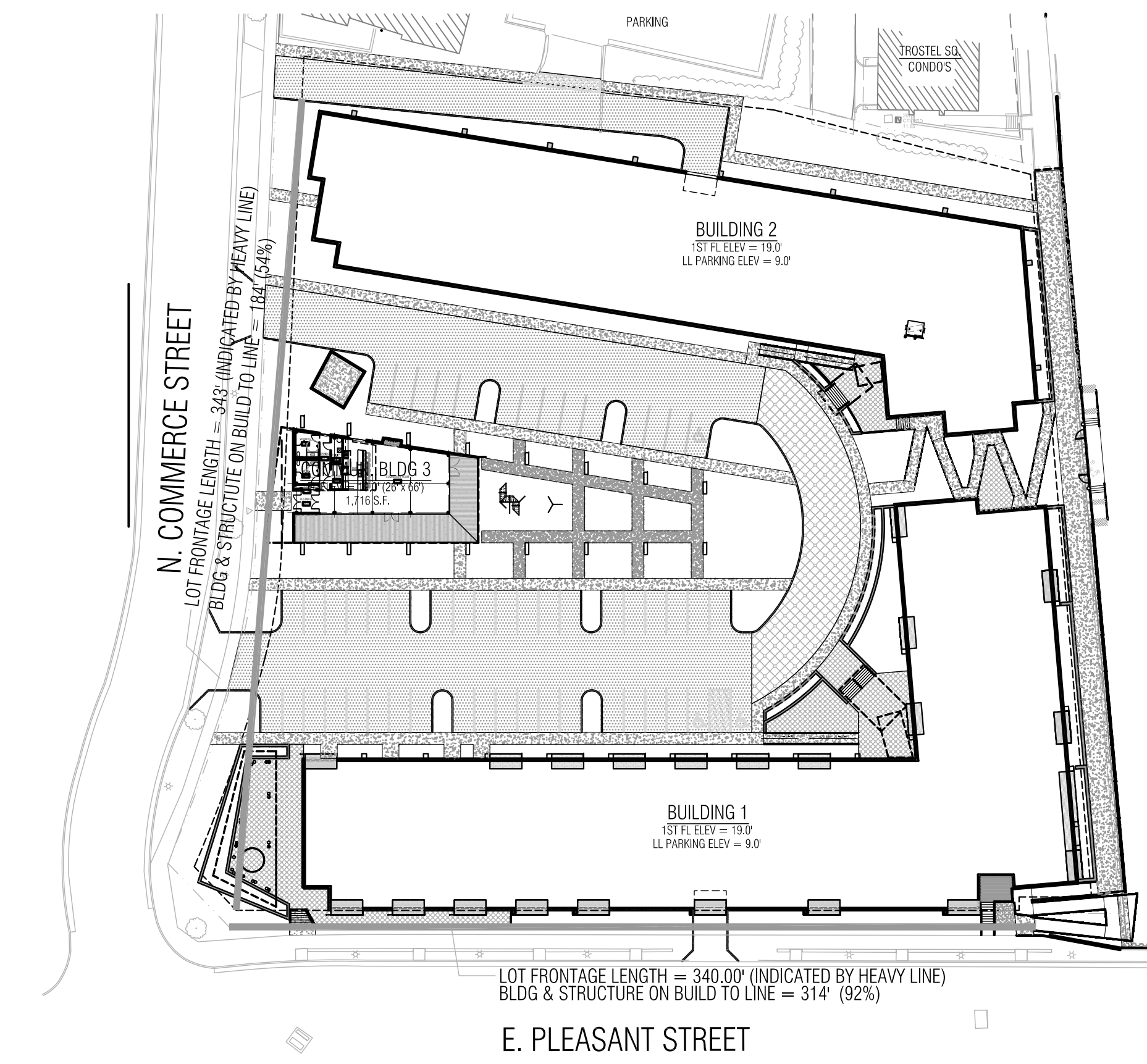
Date:	Issue Set:

Date:  
**08.05.10**

Project No.:  
**100069.00**

Sheet No.:

**A0.01**



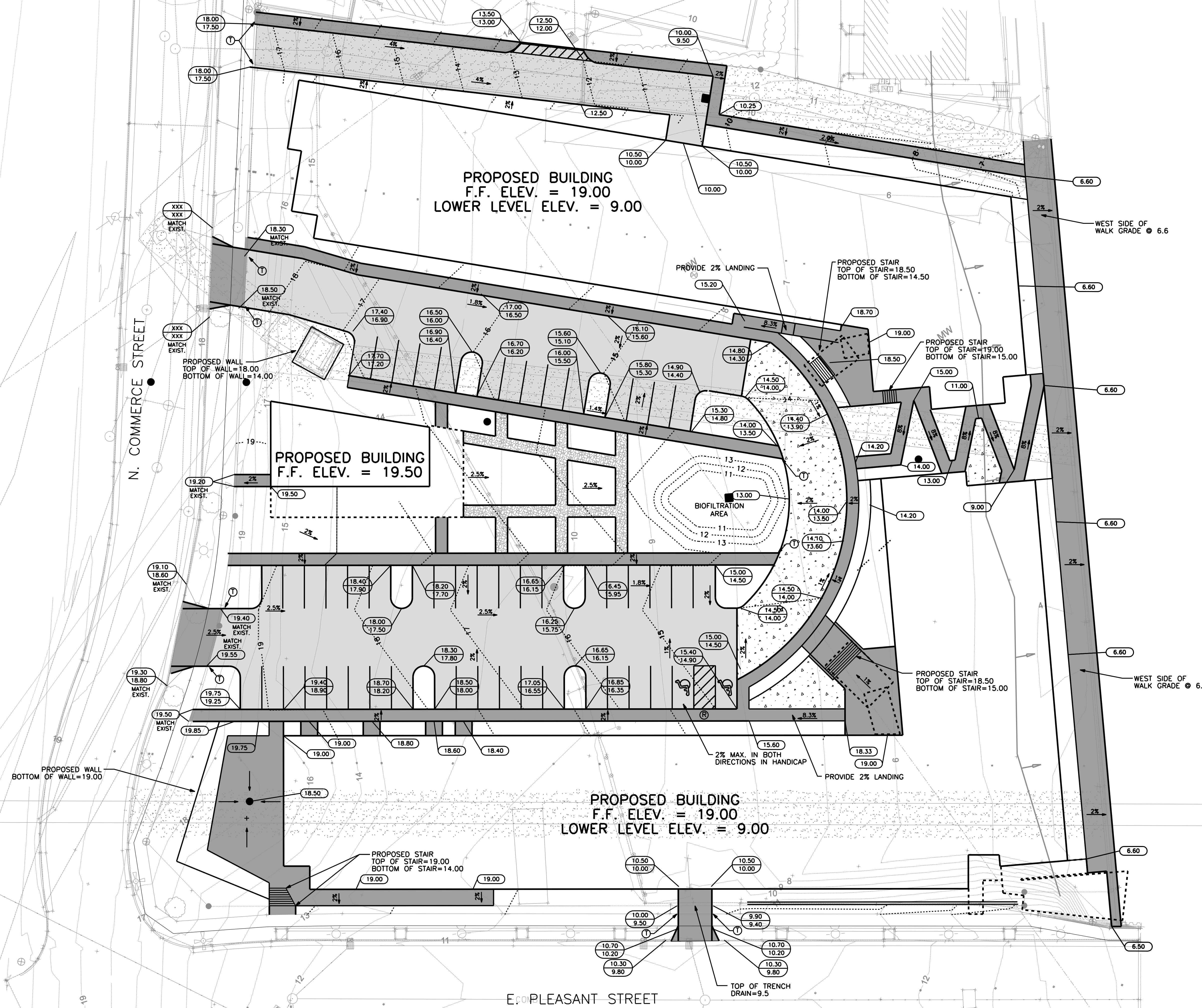
**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 20'-0"

### LEGEND

- 11 --- EXIST. CONTOUR
- ..... 11 ..... PROP. CONTOUR
- (18.00) PROP. SPOT ELEVATION
- (78.50 / 78.10) TOP OF CURB GRADE / FLANGE GRADE
- (1 / 400) ASPHALT PAVEMENT
- (3 / 400) CONCRETE DRIVEWAY
- (15 / 400) CONCRETE SIDEWALK
- GRAVEL PAVEMENT
- PAVERS
- (7 / 400) CONCRETE CURB AND GUTTER
- (6 / 400) HIGHSIDE CONCRETE CURB & GUTTER
- (12 / 400) HANDICAP RAMP PER ADA STANDARDS WITH TRUNCATED DOMES
- ⊙ CURB TAPER

### GENERAL NOTES

- UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THERETO.
- ALL DIMENSIONS TO CURB AND GUTTER ARE TO FACE OF CURB.
- PROPOSED SIDEWALK RAMPS SHALL CONFORM TO CITY OF MILWAUKEE STANDARDS.



### PROJECT INFORMATION:

PROJECT NUMBER: 20100228.00  
DATE: AUG 5, 2010  
DRAWN BY: FKO  
CHECKED BY: DMM  
APPROVED BY: CTC  
SCALE: 1"=20'

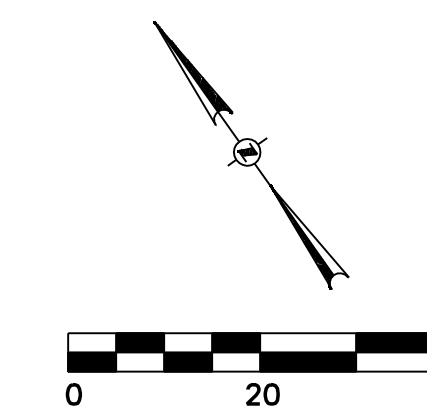
### SHEET TITLE:

GRADING PLAN

### SHEET NUMBER:

# C200

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



### LEGEND

- ASPHALT PAVEMENT
- STAMPED CONCRETE PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- CRUSHED GRAVEL (SEE ARCH.)
- CONCRETE CURB AND GUTTER
- HIGHSIDE CONCRETE CURB AND GUTTER
- HANDICAP RAMP PER ADA STANDARDS WITH TRUNCATED DOMES

### GENERAL NOTES

- UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THERETO.
- ALL DIMENSIONS TO CURB AND GUTTER ARE TO FACE OF CURB.
- PROPOSED SIDEWALK RAMP SHALL CONFORM TO CITY OF MILWAUKEE STANDARDS.

### TOTAL SITE IMPERVIOUS AREA

TOTAL SITE AREA =  
EXISTING IMPERVIOUS AREA =  
PROPOSED IMPERVIOUS AREA =

CONSULTANTS:

PROJECT TITLE:

GENERAL CAPITOL  
BEERLINE "B"  
RESIDENTIAL

ISSUE:

### PROJECT INFORMATION:

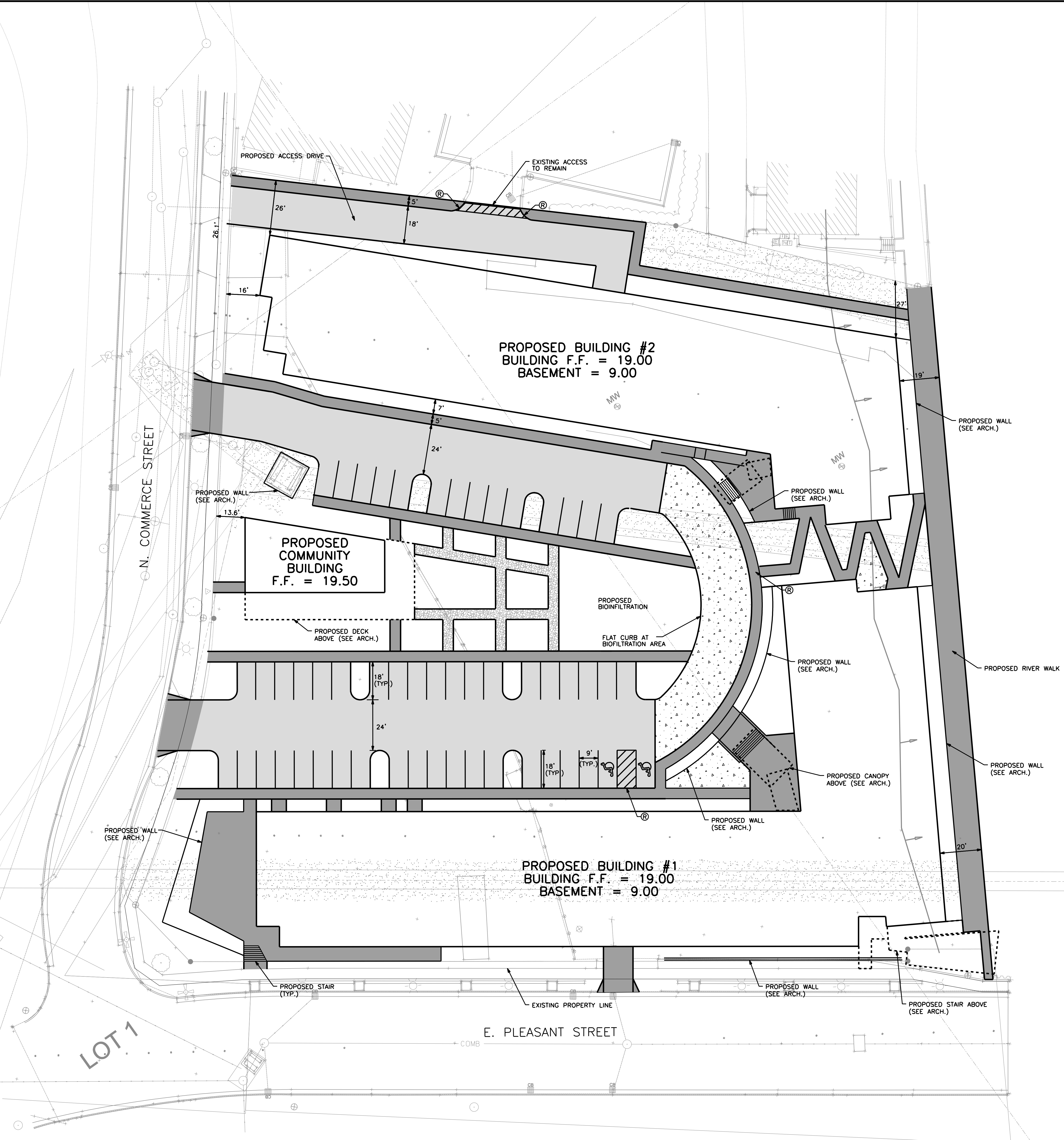
PROJECT NUMBER: 20100228.00  
DATE: AUG 5, 2010  
DRAWN BY: FKO  
CHECKED BY: DMM  
APPROVED BY: CTC  
SCALE: 1"=20'

### SHEET TITLE:

SITE PLAN

### SHEET NUMBER:

# C100



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY "EXCAVATION" REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

8/5/2010 10:36:12 AM I:\Jobs\2010\20100228\CAD\Site\A\gen\001\VC\_00\_C100\_SITL\_228.dgn

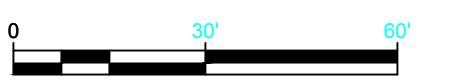


306 East Pleasant Street  
Milwaukee, Wisconsin

ALTA/ACSM LAND TITLE SURVEY

**DRAFT**

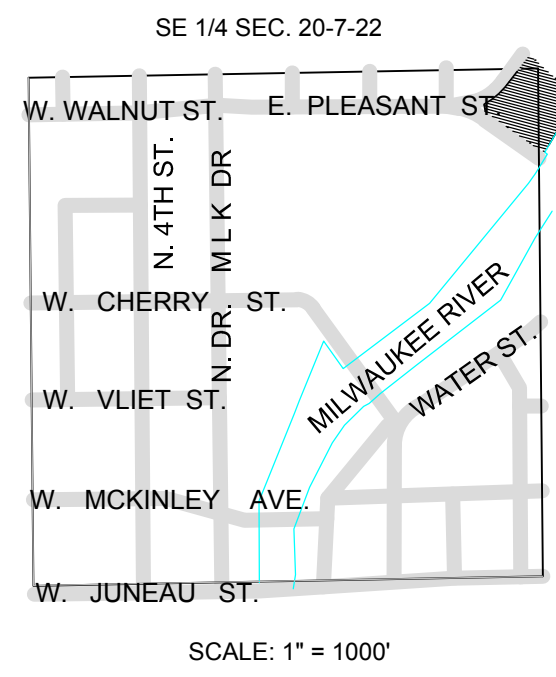
1. Update 7/15/2010 KAS  
NO. REVISION DATE BY



DRAWING NO. 12006-V-010C.dwg  
DRAWN BY: RFS/KAS  
DATE: JULY 15, 2010  
PROJECT NO: 12006  
CHECKED BY: BMR/KAS  
APPROVED BY: BMR  
SHEET NO.: 1 of 2

**ALTA**

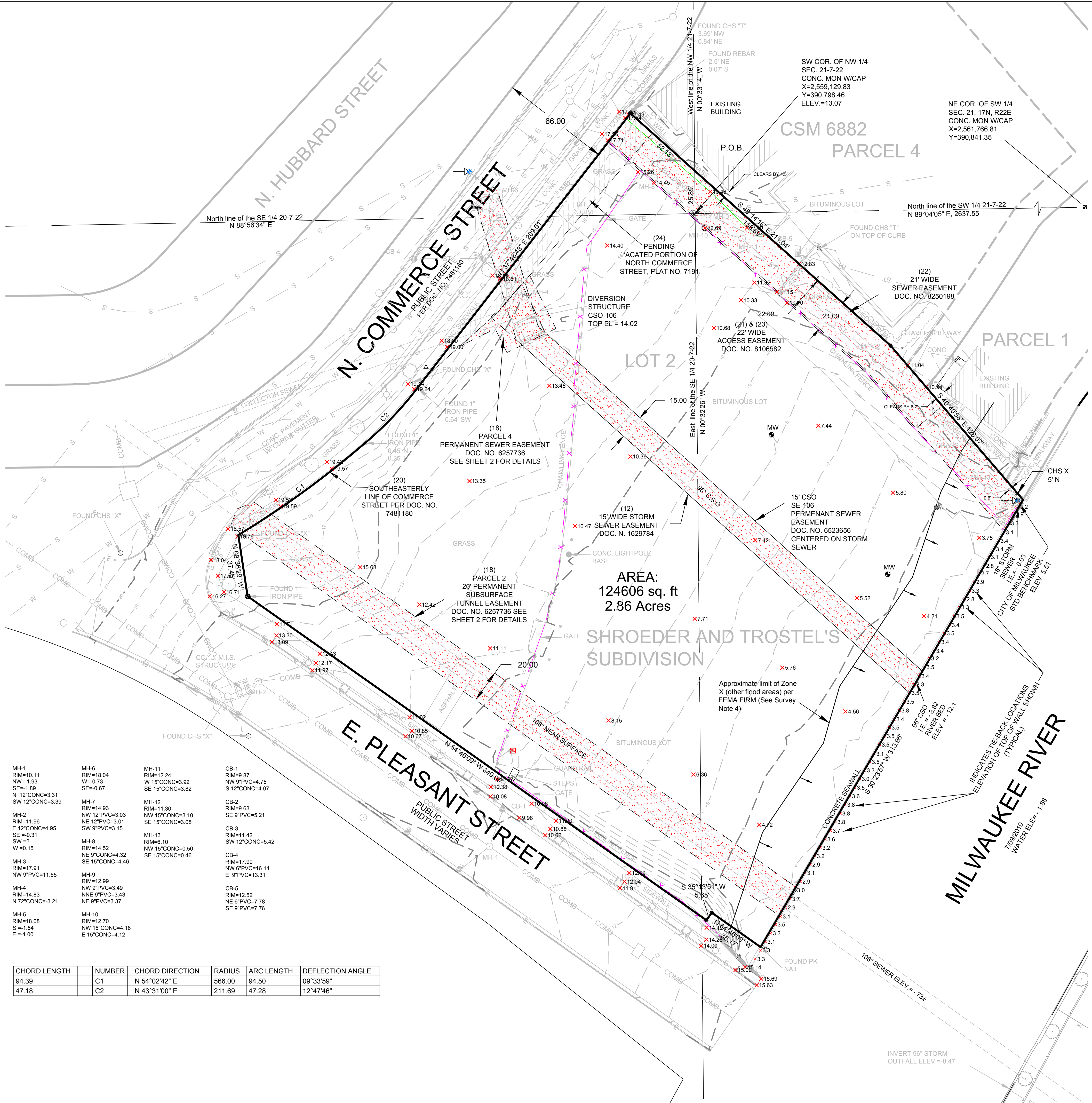
VICINITY MAP:



SCALE: 1" = 1000'

LEGEND

- SECTION 1/4 SECTION LINE
- PROPERTY LINE
- EASEMENT
- x-x-x- FENCE
- TREE LINE
- OH --- OH OVERHEAD UTILITY LINE
- E --- E ELECTRIC
- T --- T TELEPHONE
- FO --- FO FIBER OPTIC
- CTV --- CTV CABLE TV
- S --- S SANITARY SEWER
- FM --- FM FORCE MAIN
- SS --- SS STORM SEWER
- W --- W WATER MAIN
- G --- G GAS
- EXISTING CONTOUR
- MANHOLE
- ▣ CATCH BASIN
- SEPTIC VENT
- HYDRANT
- ⊕ VALVE
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ GUY POLE
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PEDESTAL
- ⊕ TRAFFIC SIGNAL
- ⊕ PULL BOX
- ⊕ UTILITY POLE
- ⊕ COMMUNICATION POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE TV PEDESTAL
- ⊕ LIGHT POLE
- ⊕ GAS METER
- ⊕ MONITORING WELL
- ⊕ SOIL BORING
- ⊕ EXISTING SPOT ELEV.
- REBAR
- IRON PIPE FOUND
- CHISELED X SET
- REBAR SET
- CHISELED X FOUND
- PK NAIL
- SPIKE/NAIL
- MONUMENT
- ROW MARKER
- BENCHMARK
- AIR CONDITIONER SIGN
- POST MAILBOX
- FLAG POLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH



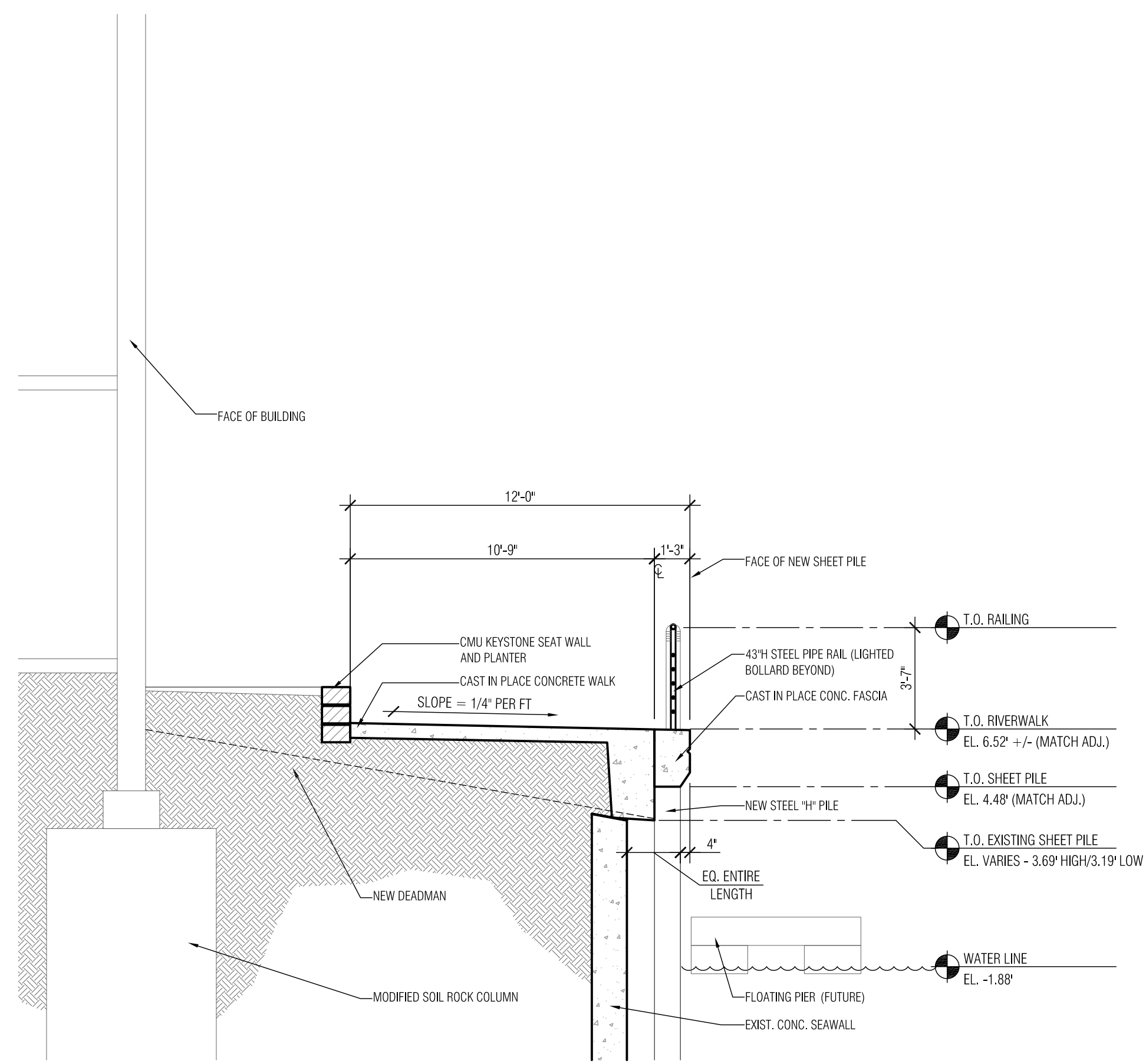
SURVEY NOTES:

- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone with the North line of the Southwest 1/4 of Section 21-7-22, being N 89°04'05" E. Elevations referenced to the City of Milwaukee datum and can be converted to mean sea level, 1929 adjustment by adding 580.60.
- Owner: The Brewery Works, Inc.
- Parcel is currently zoned RED (Redevelopment District)
- This property falls within Zone X - (other areas) Areas determined to be outside the 0.2% annual chance floodplain.  
Zone X (other flood areas) - Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from the 1% annual chance flood.  
Zone AE - Base flood area determined.  
Base flood area determined to be 584 per FEMA FIRM number 55079C0091E with an effective date of September 26, 2008

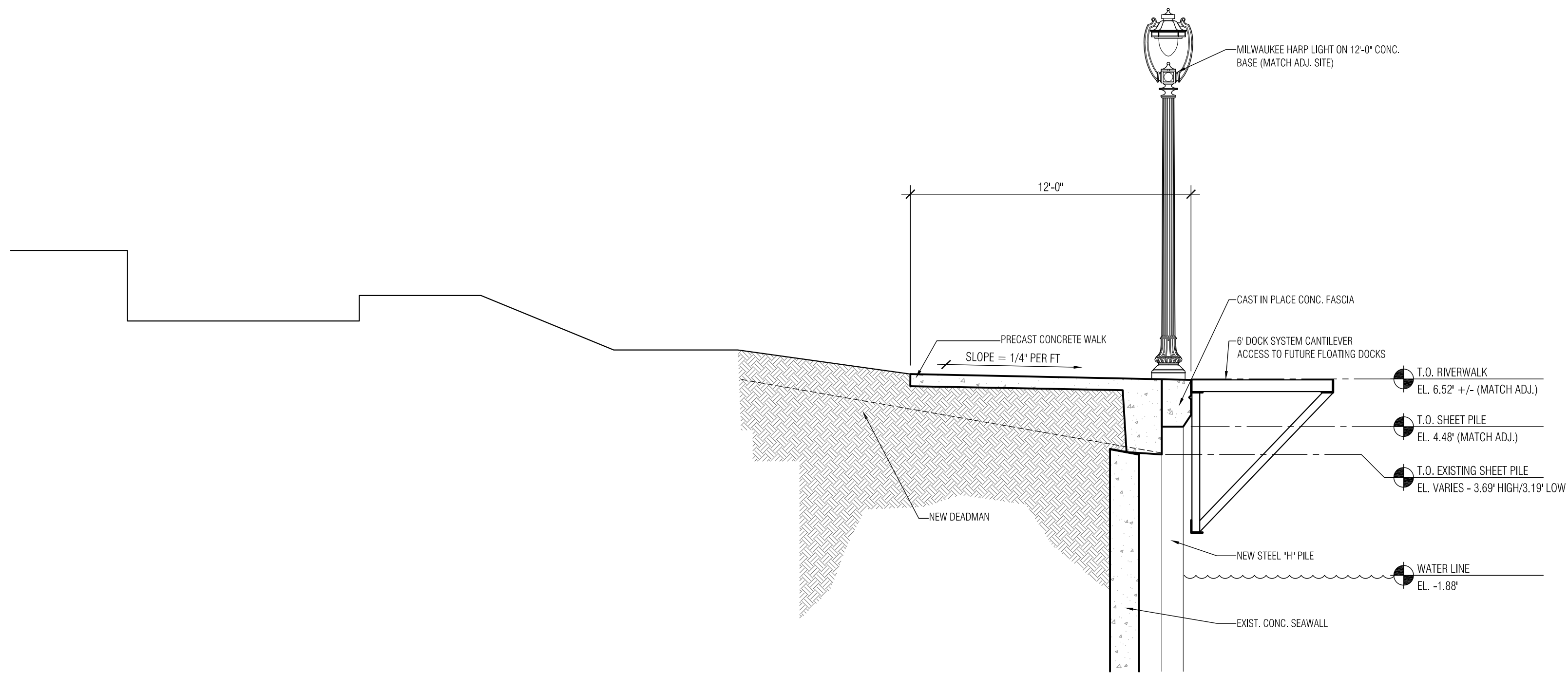
- |  |  |  |  |
|--|--|--|--|
| MH-1<br>RIM=10.11<br>NW=-1.93<br>SE=-1.89<br>N 12°CONC=3.31<br>SW 12°CONC=3.39 | MH-6<br>RIM=18.04<br>W=-0.73<br>SE=-0.67                               | MH-11<br>RIM=12.24<br>W 15°CONC=3.82<br>SE 15°CONC=3.82  | CB-1<br>RIM=9.87<br>NW 9°PVC=4.75<br>S 12°CONC=4.07  |
| MH-2<br>RIM=11.96<br>E 12°CONC=4.95<br>SE =-0.31<br>SW =-0.15                  | MH-7<br>RIM=14.93<br>NW 12°PVC=3.03<br>NE 12°PVC=3.01<br>SW 9°PVC=3.15 | MH-12<br>RIM=11.30<br>NW 15°CONC=3.10<br>SE 15°CONC=3.08 | CB-2<br>RIM=9.63<br>SE 9°PVC=5.21                    |
| MH-3<br>RIM=17.91<br>NW 9°PVC=11.55  | MH-8<br>RIM=14.52<br>NE 9°CONC=4.32<br>SE 15°CONC=4.46                 | MH-13<br>RIM=6.10<br>NW 15°CONC=0.50<br>SE 15°CONC=0.46  | CB-3<br>RIM=11.42<br>SW 12°CONC=5.42                 |
| MH-4<br>RIM=14.83<br>N 72°CONC=3.21  | MH-9<br>RIM=12.99<br>NW 9°PVC=3.49<br>NE 9°PVC=3.43                    | MH-10<br>RIM=12.70<br>NW 15°CONC=4.18<br>E 15°CONC=4.12  | CB-4<br>RIM=17.99<br>NW 8°PVC=16.14<br>E 9°PVC=13.31 |
| MH-5<br>RIM=18.08<br>S =-1.54<br>E =-1.00                                      | MH-10<br>RIM=12.70<br>NW 15°CONC=4.18<br>E 15°CONC=4.12                |  | CB-5<br>RIM=12.52<br>NE 6°PVC=7.78<br>SE 9°PVC=7.76  |

CHORD LENGTH	NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	DEFLECTION ANGLE
94.39	C1	N 54°02'42" E	566.00	94.50	09°33'59"
47.18	C2	N 43°31'00" E	211.69	47.28	12°47'46"

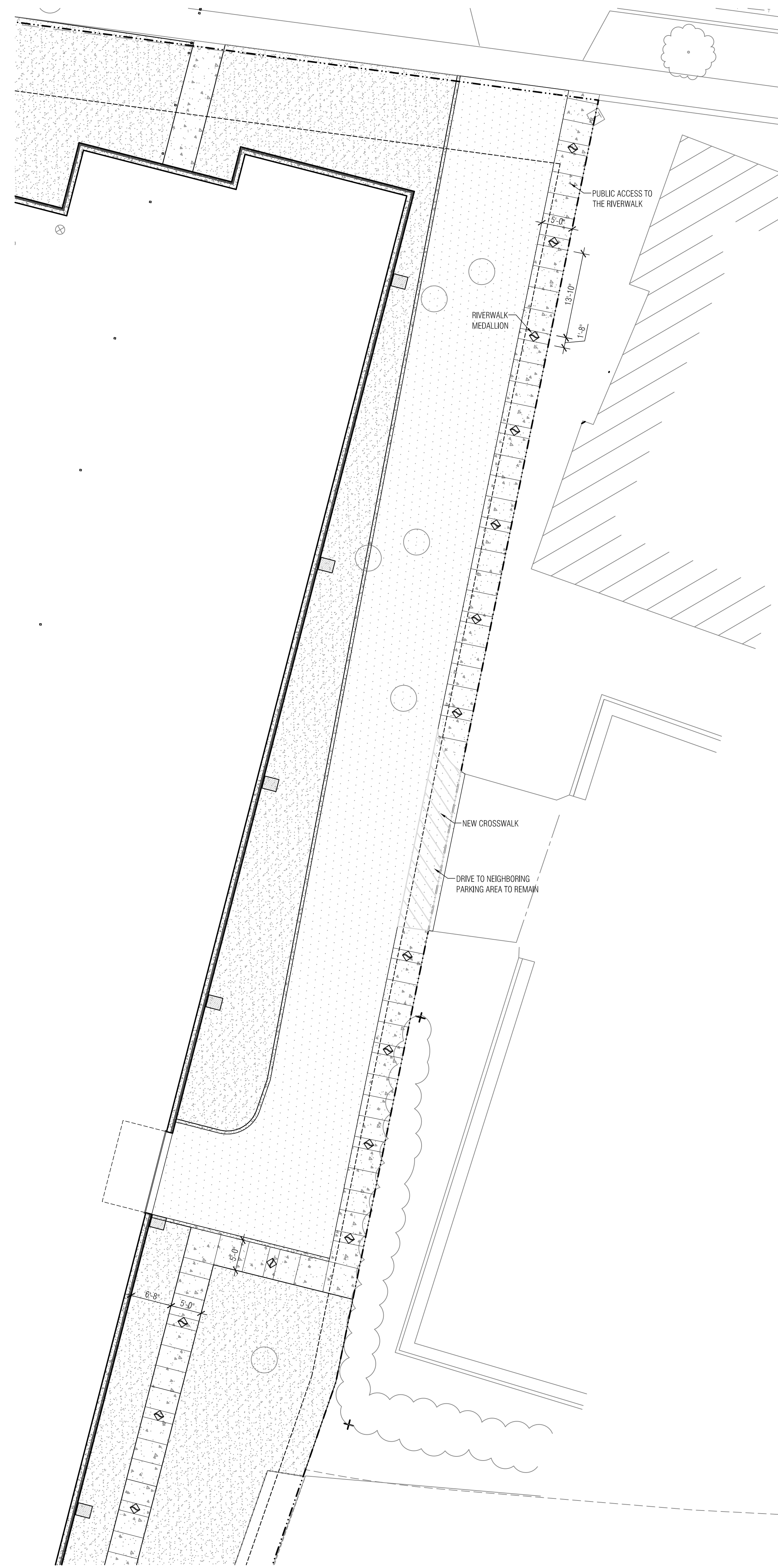
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA OBTAINED DURING THIS SURVEY. INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION, WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



8 SECTION THROUGH RIVERWALK  
SCALE: 1/4" = 1'-0"



19 SECTION THROUGH RIVERWALK  
SCALE: 1/4" = 1'-0"



28 RIVERWALK PLAN - STREET ACCESS  
SCALE: 3/32" = 1'-0"

Project:  
**BEERLINE B  
APARTMENTS**

Location:  
**MILWAUKEE, WI 53212**

Sheet:  
**RIVERWALK SECTIONS  
AND DETAILS**

Date	Issue Set

Date:  
**08.05.10**

Project No.:  
**100069.00**

Sheet No.:

**A5.02**